

# Property Inspection Report



**- Habit New Zealand Limited -**

***Sample Report. 1989 Weatherboard town house.***

***This report is for the sole benefit of:  
Sample Report Only***

# Property Inspection Report

## Terms and Conditions

### *Payment Terms and Conditions*

Upon booking an inspection report, the Customer acknowledges that they are liable for the full cost of the inspection and agree to make payment to Habit New Zealand Limited in full, prior to the release of the report.

Booking an inspection report via the HABiT website booking form, the Customer is to read and agree to terms and conditions by selecting the agreement tickbox. This is then considered an acceptance of these terms and conditions.

Booking with no website access, requires a manual copy of our terms and conditions to be signed and dated by the Customer, and is then considered an acceptance of these terms and conditions.

Where property detail has been submitted incorrectly by the customer via the HABiT website booking form, the inspector will advise of any additional charges, and will charge accordingly.

All transactions will be billed in New Zealand Dollars (NZD). Payment terms are strictly to be paid in full prior to the release of inspection report.

A cancellation fee will be incurred of \$200 incl gst, if cancelled within a 24 hour timeframe prior to scheduled inspection.

The Customer acknowledges that they are liable for all cost incurred by Habit New Zealand Limited in the event of the need to recover any debt. This includes but is not limited to any legal expenses and collection expenses that may be incurred in the recovery of the debt. Interest for the full amount of the inspection will be incurred at the rate 2% per month seven days from the date the report was delivered.

### *Mission Statement*

It is our mission to provide a service that is solution based. We will ensure that our service to you:

- Is professional and totally focused to the task of providing a non-invasive visual inspection of a property with a view to providing an informed detailed, accurate report.
- Benefits all parties with an interest in the purchasing or selling of a property by providing a solution based property inspection service.
- Identifies any deferred maintenance issues (or other defects) that may be highlighted as areas for improvement or concern during the course of any property inspection.
- To provide a list of potential trade suppliers who can assist the purchaser or vendor to effect a remedy in any identified problem area.
- Through a process of active listening, willingness and communication we continue to provide excellent friendly, flexible service that meets your inspection needs and whenever possible continually develop to improve our service when your feedback shows an opportunity for improvement.

# Property Inspection Report

## Disclaimer

Habit New Zealand Limited provides a residential property inspection and reporting service. This service is a non-invasive visual inspection of residential buildings.

The purpose of the inspection is to identify significant defects visible at the time of the inspection.

Please note that without visible signs of water damage, **it is not possible to identify potential roof leaks if the inspection is carried out during fine weather.**

(a) This is a report of a visual only, non-invasive inspection of the area of the building which were readily visible at the time of inspection.

REASONABLE ACCESS. Areas where safe, unobstructed access is provided and the minimum clearances specified in Table 1 below are available; or where these clearances are not available, areas within the inspector's unobstructed line of sight.

NOTE - It shall be clearly stated if no access was available, or accessed to limited areas only was available at the time the inspection was carried out.

**Table 1 - Reasonable access table**

Area	Access Manhole (mm)	Crawl space (mm)	Height
Roof space	450 × 400	600 × 600	Accessible from a 3.6 m ladder*
Subfloor	500 × 400	Vertical clearance Timber floor: 400** Concrete floor: 500	
Roof exterior			Accessible from a 3.6 m ladder*

\*Or such other means of access that meet OSH requirements.  
As per working from heights New Zealand, roofs over 25 degrees will not be accessed but the inspector will view the roof where possible off as safe working platform.  
\*\*From underside of bearer.

The inspection did not include any areas or components which were concealed or closed in behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which required the moving of anything which impeded access or limited visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil).

(b) The inspection did not assess compliance with the NZ Building Code including the Code's weathertightness requirements or structural aspects. On request, specialist inspections can be arranged of weathertightness or structure or any systems including electrical, plumbing, gas or heating.

(c) As the purpose of the inspection was to assess the general condition of the building based on the limited visual inspection described in (a) above, this report may not identify all past, present or future defects. Descriptions in this report of systems or appliances relate to existence only and not adequacy or life expectancy. Any area or component of the building or any item or system not specifically identified in this report as having been inspected was excluded from the scope of the inspection.

Please note that without visible signs of water damage, it is not possible to identify potential roof leaks if the inspection is carried out during fine weather.

This report is not to be copied, on sold or relied upon by a third party, nor is it a recommendation as to the advisability of purchase PROVIDED THAT where a purchaser of real estate is required by the terms of the Agreement of Sales and Purchase of Real Estate to provide a copy of this report to the owner of the property then it is done so upon the basis that we have no responsibility whatsoever to the owner of the property in respect of any item whatsoever contained in this report.

This report is not a technically exhaustive investigation nor is it practicable to imply every defect has been itemised or identified. The report is based on items that are readily visible at the time of the inspection.

100% NZ Owned and Operated.

# Property Inspection Report

## *Property Inspection Report*

A Property Report should not be seen as an all-encompassing report dealing with a building from every aspect. Rather it should be seen as a reasonable attempt to identify any significant defects visible at the time of the inspection. Nor is a Property Report a warranty against problems developing with the building after the date of the report. It is outside the scope of this report to investigate, or comment on if the dwelling complies with any Building Code legislations or Local Body bylaws.

Some comments in this report are assumptions based on building experience, date of the construction or the visual appearance and style of the materials. As this is a visual non-invasive survey, the condition of the internal framing is not known. **This is NOT a leaky home/weathertightness report - it is a non-invasive visual report only.**

All HABI franchises are covered by professional indemnity insurance (with the exclusion of Swimming Pools, Total Valuation, NZ Weathertightness, and NZ Earthquakes), up to \$1,000,000 NZD.

Appliances, heating systems, spa pools, alarms, ducted vacuum systems etc may be noted however testing these items is outside the scope of the inspection. Assessing the operation and compliance of open fires and wood burners is outside the scope of this report as they are a specialist field. Both the electrical and plumbing systems are inspected however this is not a detailed assessment with circuit or pressure testing carried out, but rather a visual inspection only.

Commenting on the structural integrity of any retaining walls or ground stability is also outside the scope of this report as they are a specialist field.

## *Heating*

Heating systems are not tested. These may be noted however testing these items is outside the scope of the inspection. Assessing the operation and compliance of open fires and wood burners is outside the scope of this report as they are a specialist field. We recommend that all fires and heating systems are checked, cleaned and serviced by a specialist in the specific field.

## *Electrical*

We will thoroughly test the power point sockets which can be easily accessed and are in plain view, not obstructed by furniture or belonging. The lighting will also be tested. We will comment on the type of the wiring that is visible in the internal ceiling space and in the sub floor area, we will also photograph the wiring in these areas and we will also photograph the main switch board to show the condition of this area. [Please note, we are not here to conduct an electrical check on the overall wiring of the dwelling](#), should there be any areas that are not functioning, or that appear in need of further attention by a qualified registered electrician, we will state that in our report main summary area.

## *Plumbing*

We will test all of the wet areas where possible. We will test and comment on the overall plumbing function quality and we will comment on the general condition of the plumbing that will be visible in the sub floor or in the internal ceiling space. We will provide photographs of the plumbing in those areas. Should we feel that there is further attention required on the plumbing by a registered plumber, we will state that in the main summary area of our report.

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## *Level of Reporting*

The inspection includes an assessment of the condition of the following areas of a property:

- The Building Site
- The Subfloor Space
- The Exterior of the Building
- The Roof Exterior
- The Roof Space
- The Interior of the Building
- Exterior Windows and Doors
- Services
- Ancillary Spaces and Buildings

## *Definitions*

### **Excellent Condition**

Item or area in new or near new condition. Well presented visibly, structurally sound and well secured. Functions as designed. Should the area be a moving part such as a window or door, these function with ease and any attachment they have is secure and in working condition.

### **Good Condition**

May have minor signs of aging and or slight marking with general wear and tear, but still works in a functional manner and is structurally sound.

### **Reasonable Condition**

Shows signs of deterioration, decay or cosmetic damage due to lack of maintenance, age or misuse. These areas may continue to deteriorate unless maintained.

### **Remedial Work/Attention Required**

Where damage is evident or is not functioning as designed. For each area mentioned as requiring remedial attention, the inspector will provide a detailed explanation for the nature of the problem and in his or her opinion the degree of work to remedy the situation.

# Property Inspection Report

## Inspection Details - Property Inspection Report

### Inspection Details:

<i>Date:</i>	This dwelling was inspected on 14/11/2017. This report refers to findings on that day only.
<i>Time of Appointment:</i>	1:00 p.m.
<i>Inspection For:</i>	This report is for the sole benefit of Sample report.
<i>Inspector on this property:</i>	Inspector.
<i>People on Site:</i>	The inspector was given the keys from Harcourts to conduct the inspection on his own.
<i>Weather:</i>	Fine and sunny.
<i>General Description:</i>	<p>This is a double storey dwelling constructed in 1989 as per QVNZ.</p> <p>The dwelling is constructed on a concrete foundation wall with concrete piles and a concrete pad to the garage area. The exterior cladding is timber weatherboards, the eaves are painted compressed fiber cement, this product may be asbestos. The joinery is single glazed aluminium and the roofing material is painted corrugated iron with lead head nail fixings.</p> <p>The property is situated on a hill site in the Wellington suburb of Broadmedows.</p>
<i>Areas not inspected:</i>	<p>Roof in accordance with the working at heights health and safety regulations.</p> <p>No all wall and floor linings were viewed or inspected as the inspectors vision was obstructed by the owners belongings.</p>
<i>Risk analysis Guide:</i>	<p>Wind zone. Specific Engineering Design Specific Engineering Design wind zone described by BRANZ.</p> <p>Number of stories. High risk. Two Stories.</p> <p>Roof/wall intersection design. Low risk. Roof-to-wall intersection fully protected (e.g. hip and gable roof with eaves).</p> <p>Eaves width. Medium risk. 450 - 600mm at first floor, or over 600mm at second floor level.</p> <p>Envelope complexity. Low risk. Simple rectangular, L, T or boomerang shape, with single cladding type.</p> <p>Deck design. Low risk. None, timber slat deck or porch at ground level.</p>
<i>NOTE -</i>	(1) Eaves width measured from the external face of wall cladding to outer edge of overhang, including gutters and fascias.

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*Summary: The summary is an overall view of the areas listed in the property inspection report.* **Structural Defects that require immediate attention:** The deck requires strengthening to the angled exterior boundary joist, a licensed building practitioner is required to carry this work out.

**Moisture ingress, or moisture damage found, these areas are:** Yes. The area, the extent of the damage, and the cause of the moisture problems is:

High relative moisture readings and water damage was viewed in the garage area around and under the laundry tub, water was also viewed in the subfloor below this area. There is a leak which requires attention by a registered plumber. The laundry tub will need to be removed and replaced. Further investigation is required as the condition of the timber wall framing is not known, damaged may have been caused within the wall cavity that cannot be viewed on our non invasive inspection.

Damaged lining paper and rusted wire roof mesh was viewed in the roof space. There may be leaking, The roofing material requires further investigation by a licensed roofer to give you the right advice on the degree or replacement, upgrades and costings.

High relative moisture readings were found on the shower linings around the bath taps, Further investigation is required as the condition of the timber framing is not known, damaged may have been caused within the wall cavity that cannot be viewed on our non invasive inspection.

Methodology used for moisture testing, Protimeter. moisture meter.

**External area of the dwelling comments:** General ageing evident. Some areas of general maintenance to be addressed which will be noted in their respective areas through out the report. If these areas are not addressed they will continue to deteriorate and cause further damage in the future.

The roofing material requires further investigation by a licensed roofer to give you the right advice on the degree or replacement, upgrades and costings.

Damaged and decayed wall cladding requires replacement by a licensed building practitioner. Cupped weatherboards to be re-fixed or replaced. Further investigation is required as the condition of the timber wall framing is not known, damaged may have been caused within the wall cavity that cannot be viewed on our non invasive inspection.

Missing head flashings to joinery are required to be fitted. These areas may have leaked in the past causing damage to the wall framing which cannot be seen on our visual non invasive inspection. Further investigation is required.

Poorly installed head flashings to joinery require replacement and or re-fitting, fixing and sealing. This area may have leaked in the past causing damage to the wall framing which cannot be seen on our visual non invasive inspection. Further investigation is required.

Missing timber rusticated plugs down the sides of all joinery and boxed corners are required to be fitted. These areas have leaked in the past, there is evidence of timber decay to some areas of cladding also. Further investigation is required as the condition of the timber framing is not known, damaged may have been caused within the wall cavity that cannot be viewed on our non invasive inspection.

The deck has been built hard up against the house in this area. This type of construction met the standards and regulations at the time of construction but is known to fail. This can cause damage to cladding, water can get trapped between the timber or other substrates and the cladding causing deterioration of both products, which is currently evident. This can be viewed outside the family room and kitchen area. This can also allow water to track through the fixings into the building envelope. In turn this will cause moisture ingress into the dwelling causing

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damage to the wall framing and bottom plate. We strongly recommend that the deck is packed off the cladding by 12mm and have rubber washers installed to prevent any moisture issues in the future. It is suggested that a Licensed Building Practitioner carries out this work. This area may have already leaked but we cannot determine if there is any damaged caused on our non invasive inspection. Further investigation is required.

Side trellis fences have been built hard up against the house and fixed directly through the cladding. This method of construction met the standards and regulations at the time of construction but is known to fail. This is a high risk design fault. This can cause damage to cladding, water can get trapped between the timber or other substrates and the cladding causing deterioration of both products. This can also allow water to track through the fixings into the building envelope. In turn this will cause moisture ingress into the dwelling causing damage to the wall framing and bottom plate. We strongly recommend that the area is packed off the cladding by 12mm and have rubber washers installed to prevent any moisture issues in the future. It is suggested that a Licensed Building Practitioner carry out this work. This area may have already leaked but we cannot determine if there is any damaged caused on our non invasive inspection. Further investigation is required.

Insufficient ground clearances at the front door area, the clearance from the top of the finished ground height outside to the finished floor level inside, and to the bottom of the cladding is insufficient. This type of construction met the standards and regulations at the time of construction but is known to fail. This is a high risk design fault. This area has the potential to cause moisture ingress by capillary action when water sucks up between the wall cladding and framing. This area may have leaked in the past causing damage to the wall framing which cannot be viewed on our non invasive inspection. Further investigation is required. I suggest these ground heights are dropped and some form of drainage is installed to this area.

**Foundation Area comments:** The foundation wall is in a reasonable condition both externally and internally. General ageing and minor movement evident. Common for our earthquake zone and for the age of the dwelling. Not of a structural nature.

**Internal inspection comments:** The internal linings are in reasonable, re-usable condition. ( Includes floor linings ) The degree of cosmetic upgrade will be determined by the purchaser' s choice. See individual areas for tasks listed.

The texture coated ceilings may or may not be asbestos, the only real way to know for sure this is asbestos is to take a sample and get it tested. We strongly recommend full removal or encapsulation of any internal asbestos linings as they can pose a health and safety risk as they age and deteriorate. Further investigation by a recognised asbestos specialist is advised.

Be aware that the joinery reveals in this dwelling are custom wood, this product swells when wet, such as condensation off the aluminium joinery, be sure to keep the sills well sealed and painted.

All wet areas were tested, a leak was found into the tub in the garage. The shower mixer is leaking and the cold tap to bath is not working.

The dwelling is insulated in the internal ceiling space as shown in the internal ceiling space area. See the internal ceiling space section for photographs showing the condition and layout of this area.

We recommend that if there are no smoke alarms fitted in the dwelling, this be addressed, we also suggest that the batteries be changed in the existing smoke alarms installed.

**Alterations & Additions Comments:** No obvious alterations or additions to the inspector visually have been carried out. We suggest that council records are checked to view the original plans of the dwelling to be sure this is the case.

**Heating systems:** No heating systems were checked on the day of inspection. Heating systems are a specialist field which require a specialist to carry out a

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separate inspection. Heating systems may be noted but are not tested or inspected.

Not all significant defects are noted in the main summary. The whole report is required to be read in full in order for you to have a comprehensive understanding of our findings.

## *Mains Power:*

Mains power fuse board is found at the back of the dwelling.

Older style fuses are found here. Due to the age and condition of the fuses we recommend a registered electrician further investigate as we do not conduct a full electrical inspection. If there are any faults this will be noted throughout the report.



## *Wiring:*

Wiring viewed in this dwelling all looked to be modern Plastic Coated TPS Wiring. See the ceiling space and subfloor sections for photos of the wiring installed.

## *Mains Water Supply:*

The mains water supply toby was not found on the day of inspection.

## *Plumbing In Dwelling:*

Modern PVC Plumbing is installed in this property.

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## Site - Property Inspection Report

### Site:

*Section details:* Hill site.

*Driveway:* Concrete, Shared, Good condition.



*Parking areas:* Concrete, Good condition.



*Fencing General:* Timber Fencing material in: Reasonable Condition.



*Retaining Walls:* Concrete, Reasonably secured, ageing, and minor deterioration evident. Not of a structural concern. Some cracking evident.

Timber, Secured in a professional manner, Good Condition.

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*Exterior Stairs:*

Timber, Handrail fitted, Reasonable Condition.



*Paths:*

Tiles and concrete reasonable condition.



*Clothesline:*

Fold Away clothesline is installed here. Good Condition.



*Water Pooling:*

Water pooling not likely on this site.

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*Summary and comments from the inspector on this area:* This site is well established and in a reasonably well presented condition. The site may require a tidy up in areas, or simply show signs of general ageing and weather deterioration.

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## Garage - Property Inspection Report

### Garage:

*General:*

Single, Attached with Internal Access.



*Main Door:*

1 Automatic Roller, Reasonable Condition.



*Side Doors:*

multiple, Hinged door, Remedial attention suggested, the exterior back door is not fitting well, it looks as though there has been some movement here. A joinery specialist is required to remedy this.



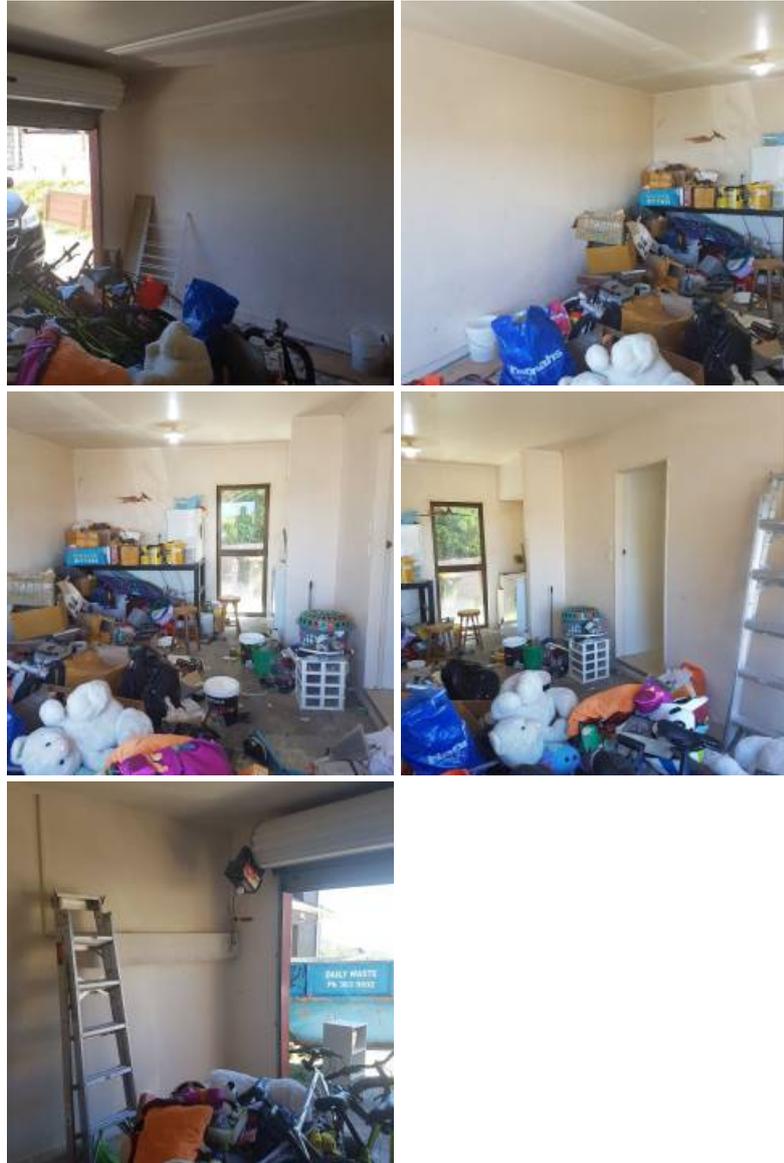
*Door panels & reveal areas*

Material in, Reasonable condition.

*Internal linings:*

Lined, Cosmetic or surface upgrade required.

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*Lighting and power points:*

Lighting installed.

*Tested:*

Tested, Working.

*Tub & Plumbing*

Laundry area, Super tub installed, **There is a leak in this area, water damage was viewed around and below the tub, further investigation by a registered plumber is required.**



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*Flooring*

Concrete floor slab (unpainted). [Not inspected due to owners belongings.](#)

*Garage floor Area:*

Garage Floor Area is approximately 28 Meters square.

*Areas of moisture*

Relative moisture readings of concern were found in this area. Further investigation is required in this area, as this is only a non invasive inspection we cannot determine if there has been any damage caused to the wall framing.



*Signs Of Water Damage:*

A current leak is evident.



*General summary and comments from the inspector on this area.*

Remedial tasks as listed. Recommend that the tasks listed here are structural or large in remedial terms. Attention is needed immediately.

No all wall and floor linings were viewed or inspected as the inspectors vision was obstructed by the owners belongings.

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## Exterior - Property Inspection Report

### Building Exterior:

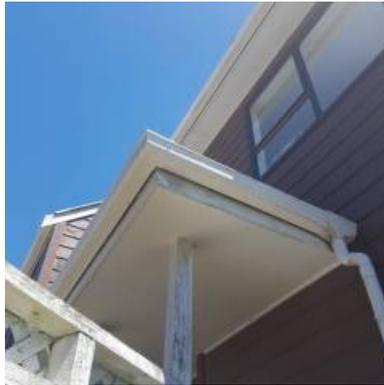
*General:* Double Story.

*Roof cladding main:* Corrugated iron painted

I suggest all lead head nails are replaced as they rust from the inside out and will deteriorate the roofing iron. Without removing nails ourselves we cannot confirm if damage to the iron has already occurred. In some cases iron may need to be replaced and this can only be identified by the roofer when nails are removed.

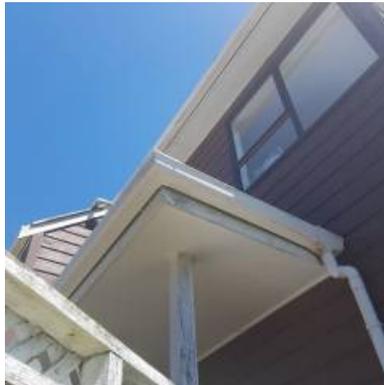
Not inspected in accordance with "Work Safe New Zealand" working at height regulations. A licensed roofer is required to further investigate the main roof using the appropriate harness equipment.

*Fascia:* Timber Fascia (includes barge boards if fitted), Material in, Reasonable Condition, Remedial attention suggested, Cosmetic upgrade required.



*Eaves:* The eaves may or may not be asbestos, refer to main summery (please read all comments)

Paint compressed fiber cement, Material in, Reasonable Condition.



*External Wall Cladding:*

Weatherboard, Damaged and decayed wall cladding requires replacement by a licensed building practitioner. Cupped weatherboards to be re-fixed or replaced. Further investigation is required as the condition of the timber wall framing is not known, damaged may have been caused within the wall cavity that cannot be viewed on our non invasive inspection.

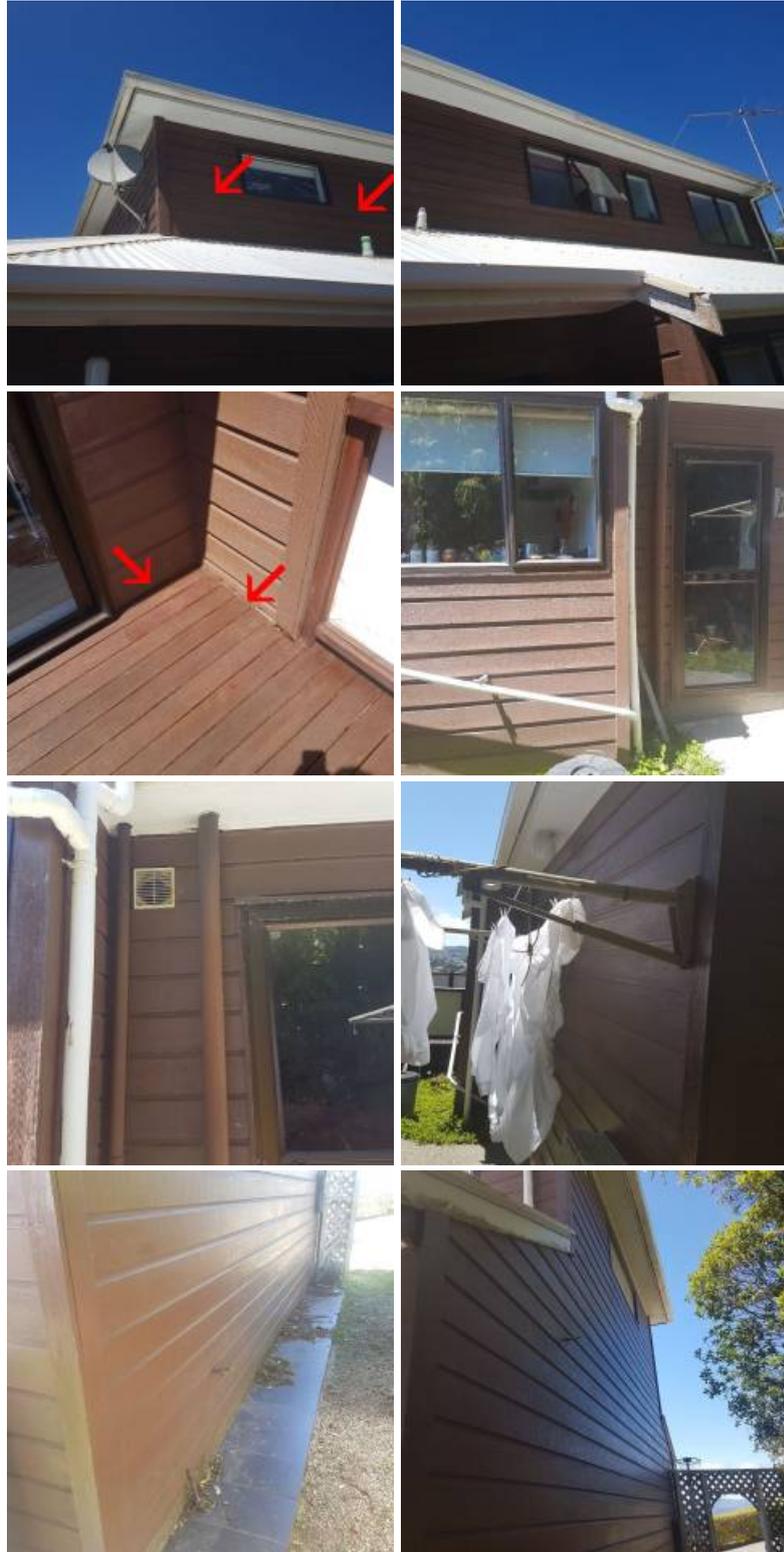
Timber rusticated plugs are required to be installed down the sides of all boxed

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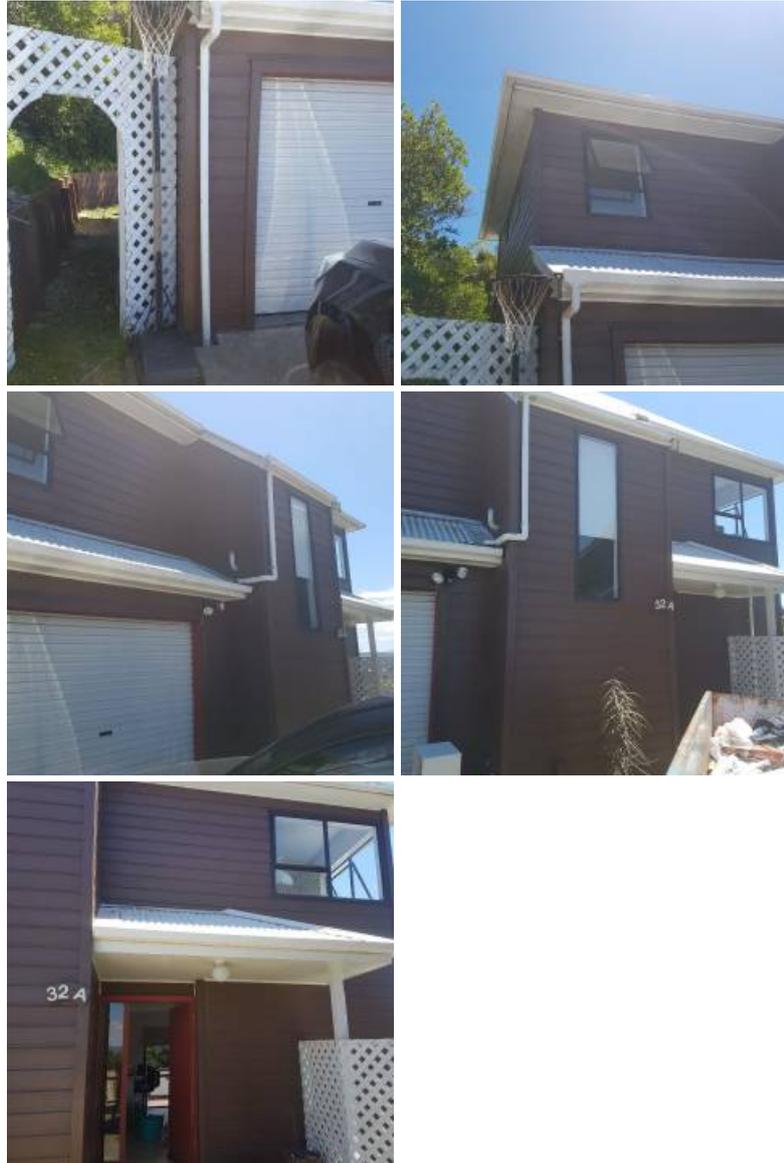
corners and facings to prevent any moisture ingress. These areas may have leaked in the past causing damage which cannot be viewed on our non invasive inspection. Further investigation required.



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## *Cladding Penetrations:*

This area has been built hard up against the house and fixed directly through the cladding. This method of construction met the standards and regulations at the time of construction but is known to fail. This is a high risk design fault. This can cause damage to cladding, water can get trapped between the timber or other substrates and the cladding causing deterioration of both products. This can also allow water to track through the fixings into the building envelope. In turn this will cause moisture ingress into the dwelling causing damage to the wall framing and bottom plate. We strongly recommend that the area is packed off the cladding by 12mm and have rubber washers installed to prevent any moisture issues in the future. It is suggested that a Licensed Building Practitioner carry out this work. This area may have already leaked but we cannot determine if there is any damaged caused on our non invasive inspection. Further investigation is required.

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## Ground Clearances

Insufficient ground clearance here, the clearance from the top of the finished ground height outside to the finished floor level inside, and to the bottom of the cladding is insufficient. This type of construction met the standards and regulations at the time of construction but is known to fail. This is a high risk design fault. This area has the potential to cause moisture ingress by capillary action when water sucks up between the wall cladding and framing. This area may have leaked in the past causing damage to the wall framing which cannot be viewed on our non invasive inspection. Further investigation is required. I suggest these ground heights are dropped and some form of drainage is installed to this area.



## External Joinery

Aluminum, Material in, Reasonable Condition.



## Window Sills & Scribes

Remedial attention required, Timber chucks are required to be fitted down the sides of all joinery to prevent any moisture ingress. These areas may have leaked in the past causing damage to the wall framing which cannot be seen on our visual non invasive inspection. Further investigation is required.

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Flashings over windows and door areas:

Remedial attention required. Head flashing required to be installed to all joinery which is missing flashings to ensure weather tightness. All loose or poorly fitted head flashings are to be replaced and or re-fixed and sealed. A licensed building practitioner can carry out this task. These areas are potential moisture risk points. These areas may have leaked in the past causing damage to the wall framing which cannot be viewed on our non invasive inspection. Further investigation is required.



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<i>Guttering:</i>	PVC, material in, Reasonable Condition.
<i>Downpipes:</i>	PVC, Drains into stormwater outlet.
<i>Storm water:</i>	We recommend all drains are checked with a camera and cleared if need be. On our visual inspection we cannot determine the condition of this pipe work. Blocked drains can occur at any time so it does pay to check, even though there were no signs on inspection.
<i>Exterior Taps:</i>	Tested, working.
<i>Gully Trap</i>	We recommend all drains are checked with a camera and cleared if need be. On our visual inspection we cannot determine the condition of this pipe work. Blocked drains can occur at any time so it does pay to check, even though there were no signs on inspection.
<i>Paint:</i>	Good Condition.
<i>Ground Floor Deck:</i>	Timber framed handrail installed possible asbestos sheeting reasonable condition.

Remedial attention to the outside boundary joist which is not bolted extra strengthening is required.

The deck has been built hard up against the house in this area. This type of construction met the standards and regulations at the time of construction but is known to fail. This can cause damage to cladding, water can get trapped between the timber or other substrates and the cladding causing deterioration of both products. This can also allow water to track through the fixings into the building envelope. In turn this will cause moisture ingress into the dwelling causing damage to the wall framing and bottom plate. We strongly recommend that the deck is packed off the cladding by 12mm and have rubber washers installed to prevent any moisture issues in the future. It is suggested that a Licensed Building Practitioner carries out this work. This area may have already leaked but we cannot determine if there is any damaged caused on our non invasive inspection. Further investigation is required.



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*Foundation:* Reinforced Concrete Ring, Reasonable Condition.

*Ventilation (Sub Floor):* Good airflow some areas of dampness.

*Summary and comments from the inspector on this area.* Shows signs of deterioration, decay or cosmetic damage due to lack of maintenance, age or misuse. This area may continue to deteriorate if not maintained.

Remedial tasks as listed. Recommend that the tasks listed here are structural or large in remedial terms. Attention is needed immediately.

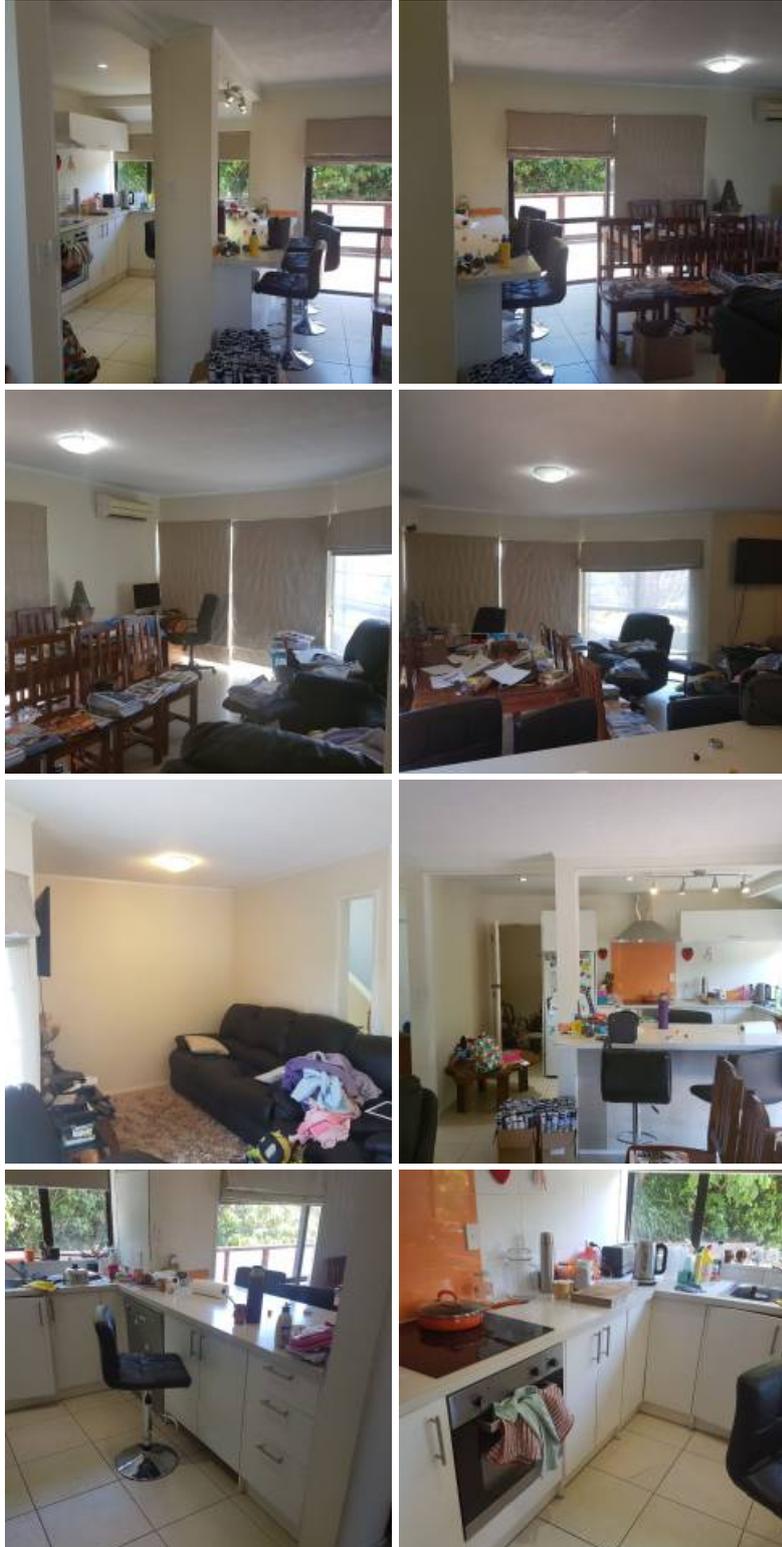
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## Kitchen / Family Room - Property Inspection Report

### Kitchen / Family Room:

General:

Open plan.



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*Internal ceiling and wall linings:*

Base linings intact, [The texture coating may or may not be asbestos, refer to main summery \(please read all comments\)](#)  
Reasonable Condition.



*Window sash and function:*

Single glazed, Aluminum frame, Awning.

*Window Reveals & Sills*

[Cosmetic upgrade suggested.](#)

*Door types and function standards for this room:*

Sliding door, Functioning, [Remedial attention suggested](#), [Roller or Track adjustment required.](#)



*Door panels and door reveals:*

Base materials are in, [Remedial attention suggested](#), [Cosmetic upgrade suggested](#)  
[Damage evident](#), [Possible replacement of damaged area suggested.](#)

Be aware the door reveals in this dwelling are custom wood, this product swells when wet, such as condensation off the aluminium joinery, be sure to keep the sills well sealed and painted.



*Door Hardware:*

No real requirement for door stop here.

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*Lighting:* Installed.

*Tested:* Tested, working.

*Floor Covering:* Tile fitted, Excellent condition.

*Heating:* Heat pump Installed. [Not tested or inspected, this is outside of our scope.](#)

*Smoke Alarms:* No Smoke Alarms.

*Bench top:* Formica, Reasonable condition.



*Joinery Units:* Reasonable condition, functions adequately, [Remedial attention required. Handles required, all hinges require adjustment for doors to open and close freely.](#)



*Refrigerator Area:* Recessed area created for the fridge.

*Sink Area:* Double, Stainless steel, Draining well without blockages.

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*Plumbing:*

Flexi hose installed here. No plumbing running in the wall cavity was viewed, the plumbing product is unknown unless viewed in the subfloor or ceiling space and this will be noted on in their respective areas of the report.  
The waste pipe in this area is.



*Tap Area:*

Single mixer, Good pressure.

*Oven:*

Modern conventional type, Under bench model, Tested, working. [Be aware thermostats are not checked. This is a specialised inspection which we do not carry out. We simply check if the oven heats up or not.](#) Reasonable condition.



*Oven cook top:*

4 Electric hot plates, Tested, working, Reasonable condition.

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*Additional appliances:*

Dishwasher, not tested.



*Areas of moisture*

Historical moisture signs evident but no moisture readings of concern were found in this area on the day of inspection. As this is only a non invasive inspection we cannot determine if there has been any damage caused to the framing. Further investigation is required.



*General Summary, and comments from the inspector on this area:*

Reasonably well presented room. Minor remedial tasks if listed, generally cosmetic, the linings are intact, superficial ageing or wear evident.

# Property Inspection Report

## Bathroom/Ensuite - Property Inspection Report

### Bathroom/Ensuite:

General:

Separate room.



# Property Inspection Report

*Internal ceiling and wall linings:*

Base linings intact, [The texture coating may or may not be asbestos, refer to main summery \(please read all comments\)](#)  
Reasonable Condition.



*Window sash and function:*

Single glazed, Aluminum frame, Awning, Functions.

*Window Reveals & Sills*

[Remedial attention suggested.](#) [Cosmetic upgrade required,](#) [Damage evident,](#) [possible replacement of damaged area suggested.](#) Be aware the window sills in this dwelling are custom wood, this product swells when wet, such as condensation off the aluminium joinery, be sure to keep the sills well sealed and painted.



*Door types and function standards for this room:* Hinged door, Functioning.

*Door panels and door reveals:*

Base materials are in, Reasonable Condition.

*Door Hardware:*

[Suggest door stop be fitted to prevent damage if possible.](#)

*Lighting:*

Installed.

*Tested:*

Tested, working.

*Floor Covering:*

Tile fitted, Good Condition.

*Bath:*

Built in Bath, Wet wall lining surround, Reasonable Condition.

*Taps:*

2 single taps over the bath, Good water pressure. Cold tap not functioning.

# Property Inspection Report



*Shower:*

Over bath.

*Shower Water Control:*

Single mixer, Good water pressure, Remedial attention suggested, Leaking water control evident.



*Towel Rail:*

Towel rail, Re-fixing to wall required.



*Vanity Unit General:*

1 unit, Draining well without blockages, Reasonable Condition, minor attention needed.

# Property Inspection Report



*Plumbing:*

Flexi hose installed here. No plumbing running in the wall cavity was viewed, the plumbing product is unknown unless viewed in the subfloor or ceiling space and this will be noted on in their respective areas of the report.  
The waste pipe in this area is modern PVC.

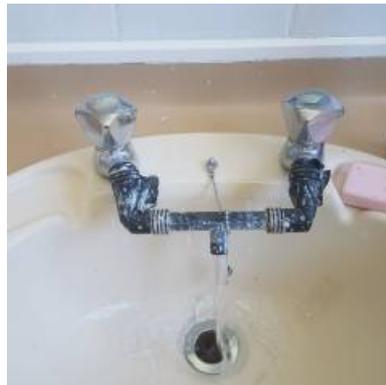


*Vanity Unit Top:*

Formica, Reasonable Condition.

*Vanity Unit Taps:*

Two single taps into a single mixer, Good water pressure.



*Extraction Unit:*

No Extraction installed.

*Heating:*

No heating installed here.

*Smoke Alarms:*

No Smoke Alarms.

*Storage:*

No storage areas installed here.

*Areas of moisture*

Relative moisture readings of concern were found in this area. Further investigation is required in this area, as this is only a non invasive inspection we cannot determine if there has been any damage caused to the wall framing.

## Property Inspection Report



*General Summary, and comments from the inspector on this area:* Reasonably well presented room. Linings intact. Minor remedial tasks if listed, generally cosmetic in nature. Signs of ageing, and wear. Remedial tasks as listed here are remedial tasks here that require immediate attention.

# Property Inspection Report

## Toilet - Property Inspection Report

### Toilet:

*General:*

Separate room.



*Internal ceiling and wall linings:*

Base linings intact, [The texture coating may or may not be asbestos, refer to main summery \(please read all comments\)](#)  
Reasonable Condition.



*Window sash and function:*

No windows in this area.

*Door types and function standards for this room:* Hinged door, Functioning.

*Door panels and door reveals:*

Base materials are in, Reasonable Condition.

# Property Inspection Report

<i>Door Hardware:</i>	Door stop fitted.
<i>Lighting:</i>	Installed.
<i>Tested:</i>	Tested, working.
<i>Towel Rail:</i>	Single towel ring, Reasonable condition, minor re-fixing suggested.
<i>Basin General:</i>	Basin fitted in this room is in good condition and is draining well without blockages.



<i>Plumbing:</i>	Flexi hose installed here. No plumbing running in the wall cavity was viewed, the plumbing product is unknown unless viewed in the subfloor or ceiling space and this will be noted on in their respective areas of the report. The waste pipe in this area is modern PVC.
<i>Basin Taps:</i>	Two single taps, Good water pressure.
<i>Extraction Unit:</i>	Extraction fan, Tested.
<i>Heating:</i>	No heating installed here.
<i>Smoke Alarms:</i>	No Smoke Alarms.
<i>Toilet Cistern:</i>	Double flush porcelain cistern, Reasonable Condition.
<i>Toilet Seat:</i>	Plastic seat, Reasonable condition.
<i>Toilet Pan:</i>	Fixed firmly to floor.
<i>Areas of moisture</i>	No moisture readings of concern were found in this room on the day of inspection.
<i>General Summary, and comments from the inspector on this area:</i>	Reasonably well presented room. Minor remedial tasks as listed, generally cosmetic, the linings are intact, superficial ageing or wear evident.

# Property Inspection Report

## Upstairs toilet:

*General:*

Separate room.



<i>Internal ceiling and wall linings:</i>	Base lining is in reasonable condition currently being painted not yet completed.
<i>Window sash and function:</i>	Single glazed, Aluminum frame, Awning, Functions.
<i>Window Reveals &amp; Sills</i>	Base materials are in, Reasonable condition.
<i>Door types and function standards for this room:</i>	Hinged door, Functioning.
<i>Door panels and door reveals:</i>	Base materials are in, Reasonable Condition.
<i>Door Hardware:</i>	Door stop fitted.
<i>Lighting:</i>	Installed.
<i>Tested:</i>	Tested, working.
<i>Floor Covering:</i>	Timber Veneer, Good Condition. Paint to be cleaned off the flooring.
<i>Extraction Unit:</i>	Heat lamp, extraction unit and lighting system.
<i>Heating:</i>	No heating installed here.
<i>Smoke Alarms:</i>	No Smoke Alarms.

# Property Inspection Report

*Toilet Cistern:* Double flush porcelain cistern, Reasonable Condition.

*Toilet Seat:* Plastic seat, **Requires Re-fixing.**



*Toilet Pan:* Fixed firmly to floor.

*Areas of moisture* No moisture readings of concern were found in this room on the day of inspection.

*General Summary, and comments from the inspector on this area:* Reasonably well presented room. Minor remedial tasks as listed, generally cosmetic, the linings are intact, superficial ageing or wear evident.

# Property Inspection Report

## Stairwell - Property Inspection Report

### Stairwell:

General:

Open plan.



# Property Inspection Report

*Internal ceiling and wall linings:* Reasonable Condition. Area has been freshly painted not fully completed unpaintable sealant has been.

The texture coating may or may not be asbestos, refer to main summary (please read all comments) This has mostly been removed.



*Window sash and function:* Single glazed, Aluminum frame, Fixed pane.

*Window Reveals & Sills*

Remedial attention suggested. Cosmetic upgrade required, Be aware the window sills in this dwelling are custom wood, this product swells when wet, such as condensation off the aluminium joinery, be sure to keep the sills well sealed and painted.



*Door types and function standards for this room:* Hinged door, Functioning.

*Door panels and door reveals:* Base materials are in, Reasonable Condition.

*Lighting:* Installed.

*Tested:* Tested, working.

*Floor Covering:* Carpet fitted, Tile fitted, Excellent condition. Timber veneer on top story requires paint to be cleaned off.

*Heating:* No heating installed here.

*Smoke Alarms:* No Smoke Alarms.

*Storage:*

## Property Inspection Report



*Areas of moisture*

No moisture readings of concern were found in this room on the day of inspection.

*General Summary, and comments from the inspector on this area:*

Reasonably well presented room. Minor remedial tasks if listed, generally cosmetic, the linings are intact, superficial ageing or wear evident.

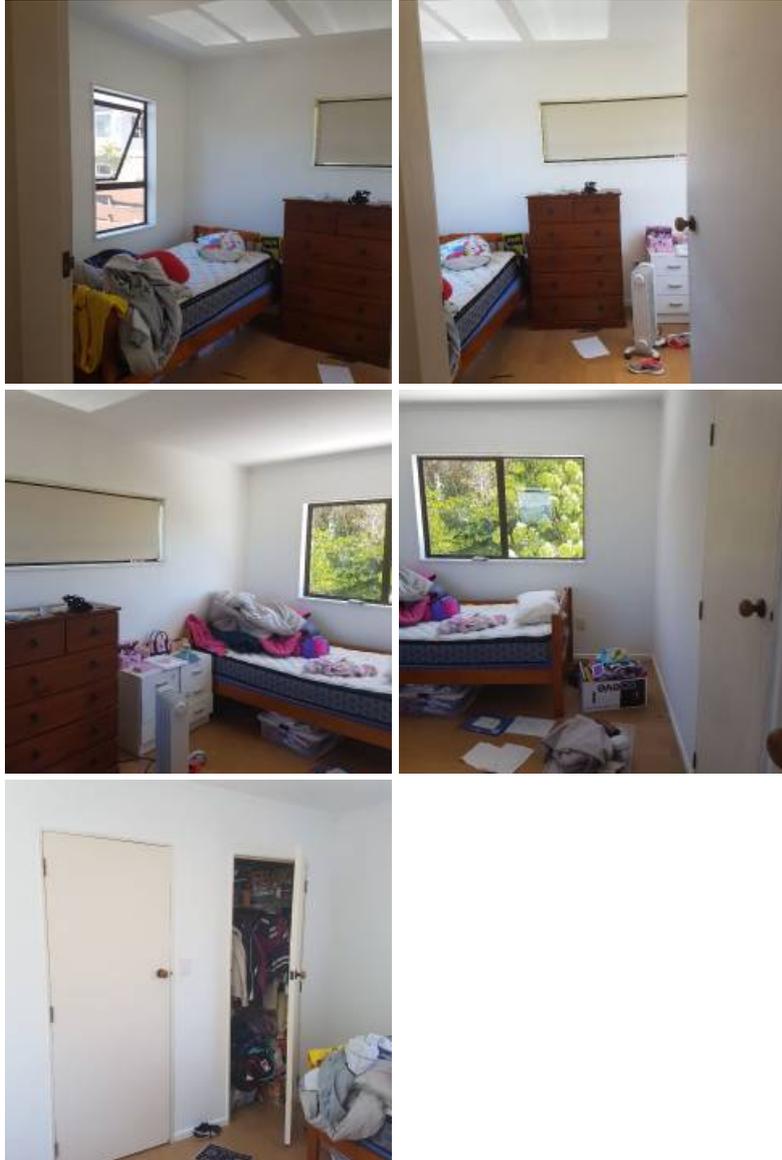
# Property Inspection Report

## Bedroom - Property Inspection Report

### Bedroom #1

General:

Separate room.



Internal ceiling and wall linings:

Base linings intact, Good Condition.

Window sash and function:

Single glazed, Aluminum frame, Awning, Functions.

Window Reveals & Sills

Remedial attention suggested. Cosmetic upgrade required, Damage evident, possible replacement of damaged area suggested. Be aware the window sills in this dwelling are custom wood, this product swells when wet, such as condensation off the aluminium joinery, be sure to keep the sills well sealed and painted.

# Property Inspection Report



*Door types and function standards for this room:* Hinged door, Functioning.

*Door panels and door reveals:* Base materials are in, Reasonable Condition.

*Door Hardware:* Door stop fitted.

*Lighting:* Installed.

*Tested:* Tested, working.

*Floor Covering:* Timber Veneer, Good Condition.

*Heating:* No heating installed here.

*Smoke Alarms:* No Smoke Alarms.

*Wardrobe:* Single size. Not inspected due to owners belongings.

*Wardrobe Doors:* Hinged design, Functions as designed.

*Door Hardware:* [Suggest door stop be fitted to prevent damage if possible.](#)

*Areas of moisture*

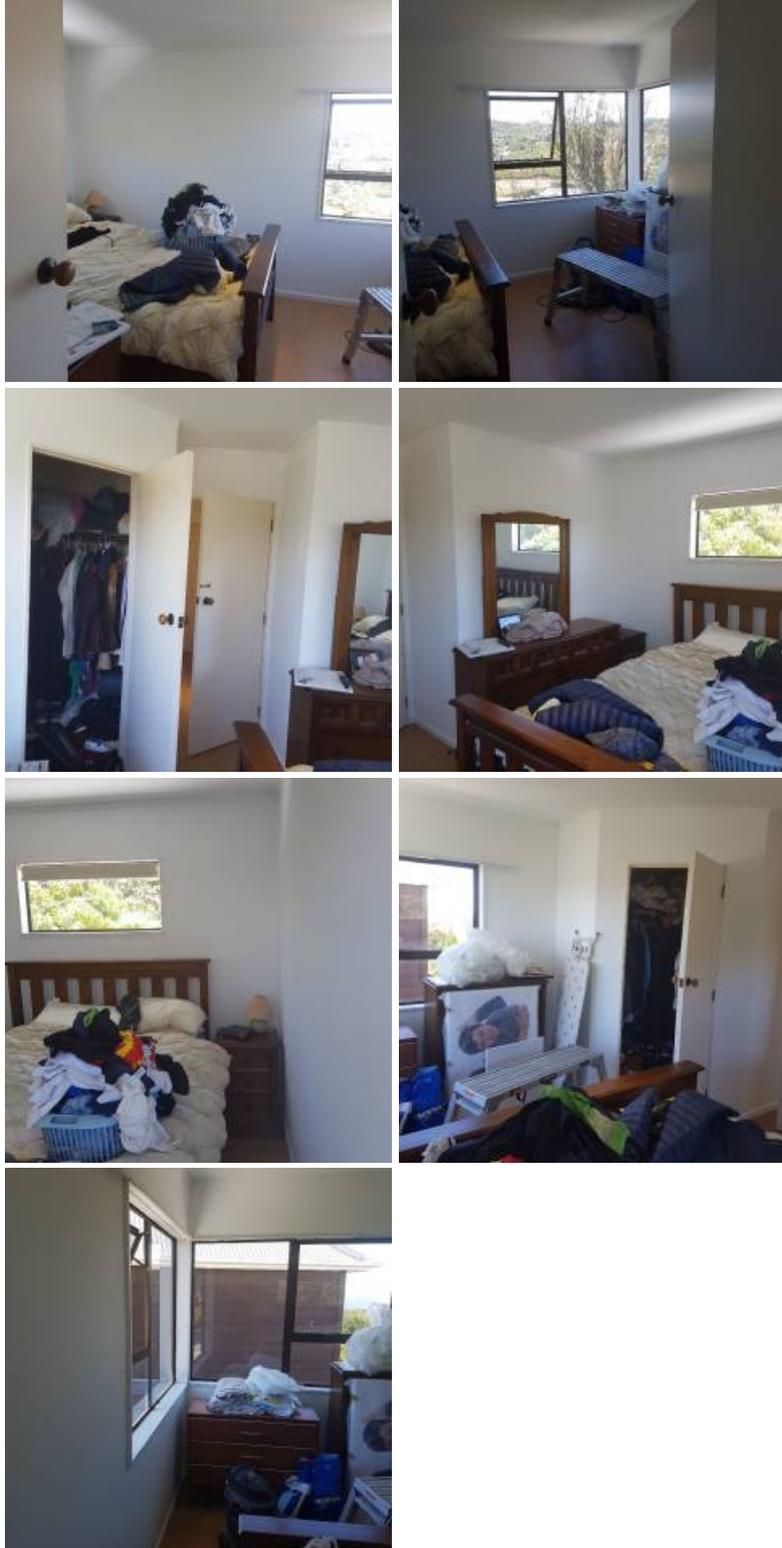
*General Summary, and comments from the inspector on this area:* Reasonably well presented room. Minor remedial tasks if listed, generally cosmetic, the linings are intact, superficial ageing or wear evident.

# Property Inspection Report

## Bedroom #2

General:

Separate room.



Internal ceiling and wall linings:

Base linings intact, **The texture coating may or may not be asbestos, refer to main**

# Property Inspection Report

summery (please read all comments)  
Reasonable Condition.



*Window sash and function:* Single glazed, Aluminum frame, Awning, Functions.

*Window Reveals & Sills*

Remedial attention suggested. Cosmetic upgrade required, Damage evident, possible replacement of damaged area suggested. Be aware the window sills in this dwelling are custom wood, this product swells when wet, such as condensation off the aluminium joinery, be sure to keep the sills well sealed and painted.



*Door types and function standards for this room:* Hinged door, Functioning.

*Door panels and door reveals:* Base materials are in, Reasonable Condition.

*Door Hardware:* Door stop fitted.

*Lighting:* Installed.

*Tested:* Tested, working.

*Floor Covering:* Timber Veneer, Good Condition.

*Heating:* No heating installed here.

*Smoke Alarms:* No Smoke Alarms.

*Wardrobe:* Double size. Not inspected due to owners belongings.

## Property Inspection Report



- Wardrobe Doors:* Hinged design, Functions as designed.
- Door Hardware:* No real requirement for door stop here.
- Areas of moisture* No moisture readings of concern were found in this room on the day of inspection.
- General Summary, and comments from the inspector on this area:* Reasonably well presented room. Minor remedial tasks if listed, generally cosmetic, the linings are intact, superficial ageing or wear evident.

# Property Inspection Report

## Subfloor - Property Inspection Report

### Subfloor:

*Access Point:*

External Area.



*General Access:*

Poor access in to the sub floor area.

*Ground Clearance*

Reasonable ground clearance, provides reasonable air circulation.

*Soil Condition:*

The majority of the soil in this sub floor area is in a dry condition. Some areas of dampness.

*Moisture barrier*

No moisture barrier installed, this is not a requirement, but we do recommend one is installed to help prevent rising damp.

*Insulation:*

Under floor insulation reasonably installed here. Signs of ageing, but in a reasonably secure condition. May have areas to be re-fixed. Will be noted if so.



*Piles, both timber and concrete:*

Concrete piles installed here, are sound, and in good condition, with required number in place.

# Property Inspection Report



*Foundation walls:*

Foundation wall inner is in good sound condition, signs of natural aging but no structural issues evident.



*Sub floor timber condition*

Not all of the subfloor timber was able to be viewed due to the insulation.



*Plumbing*

Water leaking into the subfloor area from the laundry tub, further investigation is required by a registered plumber.



# Property Inspection Report

*Pest and debris sign:*

Pest & debris not evident here.

*Summary for this area*

Reasonably tidy area. The sub floor has signs of ageing, minor deterioration which is natural due to the age of the property. If there are any remedial tasks these would have been noted above. **Remedial tasks listed here will require immediate attention to prevent further damage, see main summary for further details.**

# Property Inspection Report

## Internal Ceiling Space - Property Inspection Report

### Internal Ceiling Space:

*Access Point:* Bedroom #2 wardrobe.

*Access into* Movement into the internal ceiling space is reasonable, room in the internal space is generally accessible but not all areas could be reached.

*Insulation* Fiberglass or wool batts. Insulation has reasonable thickness here, has reduced in thickness over time. Still in place, reasonably tidy.

Insulfluff insulation, Insulation has reasonable thickness here, has reduced in thickness over time. Still in place, reasonably tidy.



*Roof lining* Lining paper, Lining paper installed here is in a reasonable secure condition. Minor signs of ageing, or areas requiring minor re-fixing but no major issues here.

Holes noted on the bottom edge of paper, the roof may be leaking, The roofing material requires further investigation by a licensed roofer to give you the right advice on the degree or replacement, upgrades and costings.

*Roofing type* Factory manufactured trusses installed here, The factory manufactured trusses are secure, and in a good sound condition.



# Property Inspection Report



## *Plumbing*

P.V.C, The plumbing installed in this area is secure, and shows no signs of any moisture leaks, or damage.



## *Wiring*

Wiring installed here, The wiring installed here is modern plastic coated. Not well stowed generally, but in reasonable condition.



## *Pest & debris:*

**Pest and debris here.** Rodent droppings were found in the ceiling space. We suggest this suggest this issue is attended to by either using poison or traps. It is hard to determine where the rodents may be entering the ceiling space so these two options will be your best to help eradicate this issue.

# Property Inspection Report



## *Signs Of Water Damage:*

Damaged lining paper and rusted wire roof mesh was viewed in the roof space. There may be leaking. The roofing material requires further investigation by a licensed roofer to give you the right advice on the degree of replacement, upgrades and costings.



## *Summary for this area*

Reasonably tidy area. The internal ceiling space has signs of ageing, minor deterioration which is natural due to the age of the property.

Remedial tasks listed here will require further investigation.

# Property Inspection Report

## Water Cylinder - Property Inspection Report

### Water Cylinder:

*Location:* Hallway area.

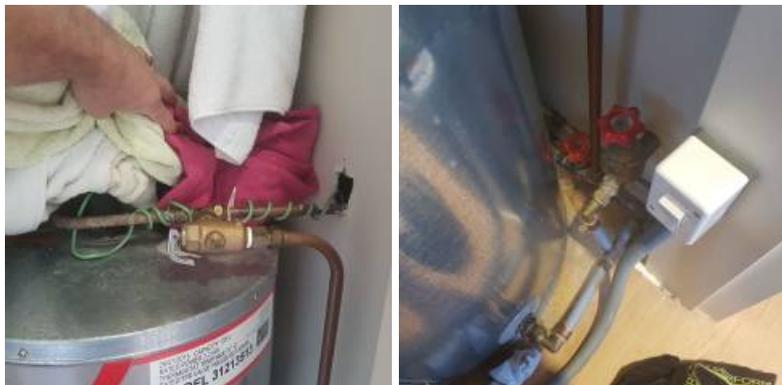


*Method of heating:* Electric.

*Size:* 135 Liters.

*Pressure:* Mains Pressure.

*Plumbing* Copper, P.V.C, The plumbing installed in this area is secure, and shows no signs of any moisture leaks, or damage.



*Seismic Strap:* Seismic strap not fitted.

*General comments on the cylinder and connections:* The cylinder carcass and the connections here are in a good sound condition. No sign of any damage or moisture leaks evident on the day of inspection.

# Property Inspection Report

## Certificate of Inspection

### Certificate of Inspection:

*Client:* Sample report.

*Site Address:* Wellington.

*Inspector:* Inspector.

*Company:* Habit New Zealand Limited.

*Qualifications:* Licensed Building practitioner.  
LBP Number: BP.....  
Expiry: .....  
  
Member of the New Zealand Institute of Building Inspectors.

*Date of Inspection:* 14/11/2017.

*Time of Appointment:* 1:00 p.m.

### The Following areas of the property have been inspected:

*Site:* Yes.

*Subfloor:* Yes.

*Exterior:* Yes.

*Roof Exterior:* No. The roof was not viewed in accordance with "Work Safe New Zealand" working at height regulations.

*Roof Space:* Yes.

*Interior:* Yes.

*Services:* Yes.

*Accessory units, ancillary spaces and buildings:* Yes.

*Statement:* Any limitations to the coverage of the inspection are detailed in the written report.

**I hereby certify that I have carried out the inspection of the property site at the above address- and I am competent to undertake this inspection.**

# Property Inspection Report

Signature:

Inspector 14/11/2017

A handwritten signature in black ink, appearing to read 'M. J. Smith', written in a cursive style.